

HISTORIC AND DESIGN REVIEW COMMISSION

August 17, 2022

HDRC CASE NO: 2022-431
ADDRESS: 1431 E COMMERCE ST
LEGAL DESCRIPTION: NCB 591 BLK 4 ALL LOT 26 & E 51.6 FT LOT 25 ARB A30
ZONING: AE-1
CITY COUNCIL DIST.: 2
DISTRICT: Dignowity Hill Historic District
APPLICANT: Jason Moran/JM Collaborative Ventures LLC
OWNER: Chris Provost/PROVOST JUDY
TYPE OF WORK: Exterior modifications
APPLICATION RECEIVED: July 29, 2022
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Jessica Anderson

REQUEST:

The applicant requests a Certificate of Appropriateness for approval to

1. Remove the false mansard-style roof and extend brick to match existing on south, east, and west elevations.
2. Construct a rear attached screened carport.
3. Construct a metal-clad rear addition for walk-in cooler.
4. Remove the existing front canopy and add a steel-framed metal awning.
5. Add a ramp, stairs, and rails to the front entrance.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations

2. Materials: Masonry and Stucco

A. MAINTENANCE (PRESERVATION)

- i. *Paint*—Avoid painting historically unpainted surfaces. Exceptions may be made for severely deteriorated material where other consolidation or stabilization methods are not appropriate. When painting is acceptable, utilize a water permeable paint to avoid trapping water within the masonry.
- ii. *Clear area*—Keep the area where masonry or stucco meets the ground clear of water, moisture, and vegetation.
- iii. *Vegetation*—Avoid allowing ivy or other vegetation to grow on masonry or stucco walls, as it may loosen mortar and stucco and increase trapped moisture.
- iv. *Cleaning*—Use the gentlest means possible to clean masonry and stucco when needed, as improper cleaning can damage the surface. Avoid the use of any abrasive, strong chemical, sandblasting, or high-pressure cleaning method.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Patching*—Repair masonry or stucco by patching or replacing it with in-kind materials whenever possible. Utilize similar materials that are compatible with the original in terms of composition, texture, application technique, color, and detail, when in-kind replacement is not possible. EIFS is not an appropriate patching or replacement material for stucco.
- ii. *Repointing*—The removal of old or deteriorated mortar should be done carefully by a professional to ensure that masonry units are not damaged in the process. Use mortar that matches the original in color, profile, and composition when repointing. Incompatible mortar can exceed the strength of historic masonry and results in deterioration. Ensure that the new joint matches the profile of the old joint when viewed in section. It is recommended that a test panel is prepared to ensure the mortar is the right strength and color.
- iii. *Removing paint*—Take care when removing paint from masonry as the paint may be providing a protectant layer or hiding modifications to the building. Use the gentlest means possible, such as alkaline poultice cleaners and strippers, to remove paint from masonry.
Removing stucco—Remove stucco from masonry surfaces where it is historically inappropriate. Prepare a test panel to ensure that underlying masonry has not been irreversibly damaged before proceeding.

4. Materials: Metal

A. MAINTENANCE (PRESERVATION)

- i. *Cleaning*—Use the gentlest means possible when cleaning metal features to avoid damaging the historic finish. Prepare a test panel to determine appropriate cleaning methods before proceeding. Use a wire brush to remove corrosion or paint build up on hard metals like wrought iron, steel, and cast iron.
- ii. *Repair*—Repair metal features using methods appropriate to the specific type of metal.
- iii. *Paint*—Avoid painting metals that were historically exposed such as copper and bronze.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Replacement*—Replace missing or significantly damaged metal features in-kind or with a substitute compatible in size, form, material, and general appearance to the historical feature when in-kind replacement is not possible.
- ii. *Rust*—Select replacement anchors of stainless steel to limit rust and associated expansion that can cause cracking of the surrounding material such as wood or masonry. Insert anchors into the mortar joints of masonry buildings.
- iii. *New metal features*—Add metal features based on accurate evidence of the original, such as photographs. Base the design on the architectural style of the building and historic patterns if no such evidence exists.

8. Roofs

A. MAINTENANCE (PRESERVATION)

- i. *Regular maintenance and cleaning*—Avoid the build-up of accumulated dirt and retained moisture. This can lead to the growth of moss and other vegetation, which can lead to roof damage. Check roof surface for breaks or holes and flashing for open seams and repair as needed.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Roof replacement*—Consider roof replacement when more than 25-30 percent of the roof area is damaged or 25-30 percent of the roof tiles (slate, clay tile, or cement) or shingles are missing or damaged.
- ii. *Roof form*—Preserve the original shape, line, pitch, and overhang of historic roofs when replacement is necessary.
- iii. *Roof features*—Preserve and repair distinctive roof features such as cornices, parapets, dormers, open eaves with exposed rafters and decorative or plain rafter tails, flared eaves or decorative purlins, and brackets with shaped ends.
- iv. *Materials: sloped roofs*—Replace roofing materials in-kind whenever possible when the roof must be replaced. Retain and re-use historic materials when large-scale replacement of roof materials other than asphalt shingles is required (e.g., slate or clay tiles). Salvaged materials should be re-used on roof forms that are most visible from the public right-of-way. Match new roofing materials to the original materials in terms of their scale, color, texture, profile, and style, or select materials consistent with the building style, when in-kind replacement is not possible.
- v. *Materials: flat roofs*—Allow use of contemporary roofing materials on flat or gently sloping roofs not visible from the public right-of-way.
- vi. *Materials: metal roofs*—Use metal roofs on structures that historically had a metal roof or where a metal roof is appropriate for the style or construction period. Refer to Checklist for Metal Roofs on page 10 for desired metal roof specifications when considering a new metal roof. New metal roofs that adhere to these guidelines can be approved administratively as long as documentation can be provided that shows that the home has historically had a metal roof.

Roof vents—Maintain existing historic roof vents. When deteriorated beyond repair, replace roof vents in-kind or with one similar in design and material to those historically used when in-kind replacement is not possible.

10. Commercial Facades

A. MAINTENANCE (PRESERVATION)

- i. *Character-defining features*—Preserve character-defining features such as cornice molding, upper-story windows, transoms, display windows, kickplates, entryways, tiled paving at entryways, parapet walls, bulkheads, and other features that contribute to the character of the building.
- ii. *Windows and doors*—Use clear glass in display windows. See Guidelines for Architectural Features: Doors, Windows, and Screens for additional guidance.
- iii. *Missing features*—Replace missing features in-kind based on evidence such as photographs, or match the style of the building and the period in which it was designed.
- iv. *Materials*—Use in-kind materials or materials appropriate to the time period of the original commercial facade when making repairs.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *New features*—Do not introduce new facade elements that alter or destroy the historic building character, such as adding inappropriate materials; altering the size or shape of windows, doors, bulkheads, and transom

openings; or altering the façade from commercial to residential. Alterations should not disrupt the rhythm of the commercial block.

- ii. *Historical commercial facades*—Return non-historic facades to the original design based on photographic evidence. Keep in mind that some non-original facades may have gained historic importance and should be retained. When evidence is not available, ensure the scale, design, materials, color, and texture is compatible with the historic building. Consider the features of the design holistically so as to not include elements from multiple buildings and styles.

11. Canopies and Awnings

A. MAINTENANCE (PRESERVATION)

- i. *Existing canopies and awnings*—Preserve existing historic awnings and canopies through regular cleaning and periodic inspections of the support system to ensure they are secure.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Replacement canopies and awnings*—Replace canopies and awnings in-kind whenever possible.
- ii. *New canopies and awnings*—Add canopies and awnings based on accurate evidence of the original, such as photographs. If no such evidence exists, the design of new canopies and awnings should be based on the architectural style of the building and be proportionate in shape and size to the scale of the building façade to which they will be attached. See UDC Section 35-609(j).
- iii. *Lighting*—Do not internally illuminate awnings; however, lighting may be concealed in an awning to provide illumination to sidewalks or storefronts.
- iv. *Awning materials*—Use fire-resistant canvas awnings that are striped or solid in a color that is appropriate to the period of the building.
- v. *Building features*—Avoid obscuring building features such as arched transom windows with new canopies or awnings.
- vi. *Support structure*—Support awnings with metal or wood frames, matching the historic support system whenever possible. Minimize damage to historic materials when anchoring the support system. For example, anchors should be inserted into mortar rather than brick. Ensure that the support structure is integrated into the structure of the building as to avoid stress on the structural stability of the façade.

Historic Design Guidelines, Chapter 3, Guidelines for Additions

2. Massing and Form of Non-Residential and Mixed-Use Additions

A. GENERAL

- i. *Historic context*—Design new additions to be in keeping with the existing, historic context of the block. For example, additions should not fundamentally alter the scale and character of the block when viewed from the public right-of-way.
- ii. *Preferred location*—Place additions at the side or rear of the building whenever possible to minimize the visual impact on the original structure from the public right of way. An addition to the front of a building is inappropriate.
- iii. *Similar roof form*—Utilize a similar roof pitch, form, and orientation as the principal structure for additions, particularly for those that are visible from the public right-of-way.
- iv. *Subordinate to principal facade*—Design additions to historic buildings to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- v. *Transitions between old and new*—Distinguish additions as new without distracting from the original structure. For example, rooftop additions should be appropriately set back to minimize visibility from the public right-of-way. For side or rear additions utilize setbacks, a small change in detailing, or a recessed area at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. *Height*—Limit the height of side or rear additions to the height of the original structure. Limit the height of rooftop additions to no more than 40 percent of the height of original structure.
- ii. *Total addition footprint*—New additions should never result in the doubling of the historic building footprint. Full-floor rooftop additions that obscure the form of the original structure are not appropriate.

3. Materials and Textures

A. COMPLIMENTARY MATERIALS

- i. *Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.

- ii. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.
- iii. *Other roofing materials*—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

B. INAPPROPRIATE MATERIALS

- i. *Imitation or synthetic materials*—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

C. REUSE OF HISTORIC MATERIALS

- i. *Salvage*—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

4. Architectural Details

A. GENERAL

- i. *Historic context*—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.
- ii. *Architectural details*—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.
- iii. *Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

5. Sidewalks, Walkways, Driveways, and Curbing

A. SIDEWALKS AND WALKWAYS

- i. *Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.
- ii. *Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.
- iii. *Width and alignment*—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.
- iv. *Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.
- v. *ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

B. DRIVEWAYS

- i. *Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.
- ii. *Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

C. CURBING

- i. *Historic curbing*—Retain historic curbing wherever possible. Historic curbing in San Antonio is typically constructed of concrete with a curved or angular profile.
- ii. *Replacement curbing*—Replace curbing in-kind when deteriorated beyond repair. Where in-kind replacement is not be feasible, use a comparable substitute that duplicates the color, texture, durability, and profile of the original. Retaining walls and curbing should not be added to the sidewalk design unless absolutely necessary.

8. Americans with Disabilities Act (ADA) Compliance

A. HISTORIC FEATURES

- i. *Avoid damage*—Minimize the damage to the historic character and materials of the building and sidewalk while complying with all aspects of accessibility requirements.
- ii. *Doors and door openings*—Avoid modifying historic doors or door openings that do not conform to the building and/or accessibility codes, particularly on the front façade. Consider using a discretely located addition as a means of providing accessibility.

B. ENTRANCES

- i. *Grade changes*—Incorporate minor changes in grade to modify sidewalk or walkway elevation to provide an accessible entry when possible.
- ii. *Residential entrances*—The preferred location of new ramps is at the side or rear of the building when convenient for the user.
- iii. *Non-residential and mixed use entrances*—Provide an accessible entrance located as close to the primary entrance as possible when access to the front door is not feasible.

C. DESIGN

- i. *Materials*—Design ramps and lifts to compliment the historic character of the building and be visually unobtrusive as to minimize the visual impact, especially when visible from the public right-of-way.
- ii. *Screening*—Screen ramps, lifts, or other elements related to ADA compliance using appropriate landscape materials. Refer to Guidelines for Site Elements for additional guidance.
- iii. *Curb cuts*—Install new ADA curb cuts on historic sidewalks to be consistent with the existing sidewalk color and texture while minimizing damage to the historical sidewalk.

FINDINGS:

- a. The property at 1431 E Commerce is a single-story brick commercial structure built c. 1955, with southwest and rear additions built in CMU by 1983. It is not found on Sanborn maps, but appears on 1955 historic aerials without its rear and southwest additions. The additions appear on historic aerials by 1983. The property contributes to the Dignowity Hill historic district.
- b. **ADMINISTRATIVE APPROVAL:** The following scopes of work, included in the plans submitted by the applicant, were approved by staff via administrative Certificate of Appropriateness: replace HVAC in place, repair roof coping, remove the pipe rail at the rear of the building, paint the CMU wall, replace light fixtures, and replace or add leaders and downspouts to existing roof drains. These scopes of work do not require review by the Historic and Design Review Commission
- c. **SIGNAGE:** The applicant is not seeking review or approval of signage at this time and will submit an application for Certificate of Appropriateness for signage at a later date.
- d. **EXTERIOR MODIFICATIONS (FALSE MANSARD-STYLE ROOF):** The applicant proposes to remove the false mansard-style roof and extend brick to match existing on south, east, and west elevations. Guidelines for Exterior Maintenance and Alterations 3.B.iii. says distinctive roof features should be preserved and repaired. However, staff finds the false mansard-style roof was likely added with the southwest addition in 1983. Staff finds the proposed removal of the false roof and extension of the brick to match existing on the south, east, and west elevations appropriate.
- e. **ADDITION: ATTACHED CARPORT AND WALK-IN COOLER (SCALE, MASSING, AND FORM):** The applicant proposes to construct an attached 19.5'x24.33' two-car screened carport (or about 474 square feet) and a 23'x25' (or 575 square feet) walk-in cooler to the rear of the property. Guidelines for Additions 2.B.ii says new additions should never result in the doubling of the historic building footprint. The building is currently 2,944 square feet, per BCAD. The proposed addition totals approximately 1,049 square feet. Staff finds the proposed additions conform to guidelines.
- f. **ADDITION: ATTACHED CARPORT (MATERIALS):** The proposed carport has painted metal posts and horizontal wood slats, and is proposed to be built adjacent to the 1983 addition, which is of CMU construction. Guidelines for Additions 2.A.v says additions should be distinguished from the original structure without distracting from it and that side or rear additions should utilize setbacks, a small change in detailing, or a recessed area at the seam of the historic structure and the new addition to provide a clear visual distinction between old and new building forms. Guideline 3.a.i says any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure. Staff finds the wood-screened carport conforms to guidelines and is generally appropriate.
- g. **ADDITION: WALK-IN COOLER:** The applicant proposes to construct a 23'x25' walk-in cooler with metal cladding. Guidelines for Additions 2.A.v says additions should be distinguished from the original structure without distracting from it and that side or rear additions should utilize setbacks, a small change in detailing, or a recessed area at the seam of the historic structure and the new addition to provide a clear visual distinction

between old and new building forms. Guideline 3.A.i says any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure. While the metal cladding conforms to Guideline 2.A.v, staff finds it does not conform to Guideline 3.A.i. A stucco-clad masonry addition would be more appropriate in the context of this block and neighborhood.

- h. CANOPY: The applicant proposes to remove the existing composition-shingle canopy with posts and replacing it with a steel-framed metal awning. Guidelines for Exterior Maintenance and Alterations 11.A.i says Preserve existing historic awnings and canopies should be preserved. Staff finds the existing canopy was likely added as part of the 1983 southwest addition and is not original to the c. 1955 structure. Staff finds the proposed metal-frame canopy generally appropriate.
- i. RAMP, STAIRS, AND RAILS: The applicant proposes to add a ramp, stairs, and rails at the front door of the building. Guidelines for Site Elements 5.A.v says removal of historic sidewalk materials should be limited to the immediate intersection when ramps are added to address ADA requirements. Guidelines for Site Elements 5.A.i says to minimize the damage to the historic character and materials of the building and sidewalk while complying with all aspects of accessibility requirements. Staff finds the proposed ramp, stairs, and rails conform to these guidelines.

RECOMMENDATION:

Staff recommends approval of item 1, removal of the false mansard-style roof and extend brick to match existing on south, east, and west elevations, based on finding d.

Staff recommends approval of item 2, construction of a rear attached screened carport, based on findings e and f.

Staff recommends approval of item 3, construction of a rear addition for walk-in cooler, based on findings e and g, with the following stipulation:

- i. That the applicant proposes a stucco-clad masonry addition rather than the metal-clad addition proposed.

Staff recommends approval of item 4, removal of the existing front canopy and addition of a steel-framed metal awning, based on finding h.

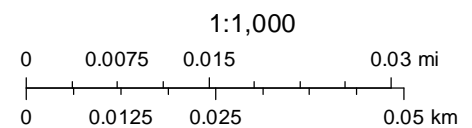
Staff recommends approval of item 5, the addition of a ramp, stairs, and rails to the front entrance, based on finding i.

City of San Antonio One Stop



August 12, 2022

- CoSA Addresses
- Community Service Centers
- Pre-K Sites
- CoSA Parcels
- BCAD Parcels



1431 COMMERCE ST, SAN ANTONIO TX 78205

1431 E COMMERCE ST SAN
ANTONIO TX 78205



PERMIT 7.18.2022

COVER

DATE: 7 18 2022

DRAWN BY: JM

99



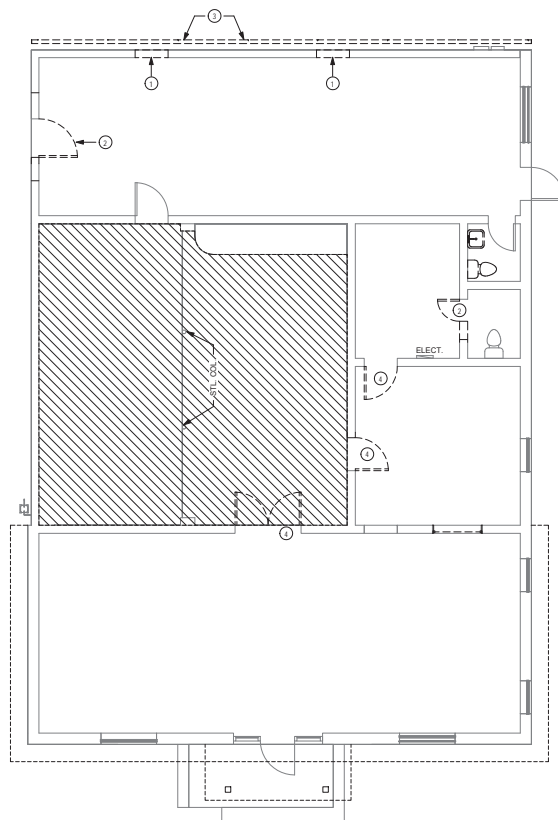
The site plan shows a triangular lot bounded by Paso Hondo St to the north, E. Commerce St to the east, and N Hackberry St to the south. The lot is divided into Lot 25 and Lot 26. The existing building is a 1-story bldg located on Lot 26. A new walk-in cooler is proposed adjacent to the existing building. An ADA ramp is shown leading from the sidewalk to the building entrance. The plan also indicates various utility features such as electric poles, conduits, and manholes. Notes specify which existing conditions are to remain or be removed.

① SITE
1" = 20'-0"

E. COMMERCE ST.

LOCATION MAP N.T.S.

The location map provides a broader context of the project area, showing the surrounding streets and landmarks. A north arrow is included for orientation.



5 EXISTING CONDITION/ DEMO PLAN
3/16" = 1'-0"

GENERAL DEMOLITION NOTES:

1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NOTIFY OWNER OF ANY DISCREPANCY PRIOR TO THE START OF ANY WORK.
2. CONTRACTOR SHALL NOTIFY OWNER OF ANY POWER, WATER, ETC. OUTAGES AT LEAST 72 HOURS IN ADVANCE THAT MAY BE REQUIRED DUE TO SCOPE OF WORK.
3. CONTRACTOR SHALL PROTECT ALL BUILDING ELEMENTS SCHEDULED TO REMAIN NEAR DEMOLITION AREA. CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGED ITEMS AT CONTRACTORS EXPENSE.
4. CONTRACTOR SHALL COORDINATE WITH MEP AND STRUCTURAL DRAWINGS FOR ANY ADDITIONAL DEMOLITION REQUIREMENTS. 1. EXISTING METAL STRUCTURE SHALL BE EXPOSED TO VIEW WITHIN ROOMS INDICATED. REMOVE ALL EXTRANEOUS ITEMS FROM DECK SUCH AS ABANDONED CONDUIT, CEILING GRID HANGERS, ALL THREAD, ETC. ALL CONDUIT WITHIN ROOMS SHALL BE RUN "NEAT AND CLEAN" AND SHALL BE RUN AS CLOSE TO THE DECK ABOVE AS POSSIBLE. PAINT DECK AS SPECIFIED. REFER TO FINISH NOTES. ALL EXISTING INTERIOR PARTITIONS ARE TO BE REMOVED.

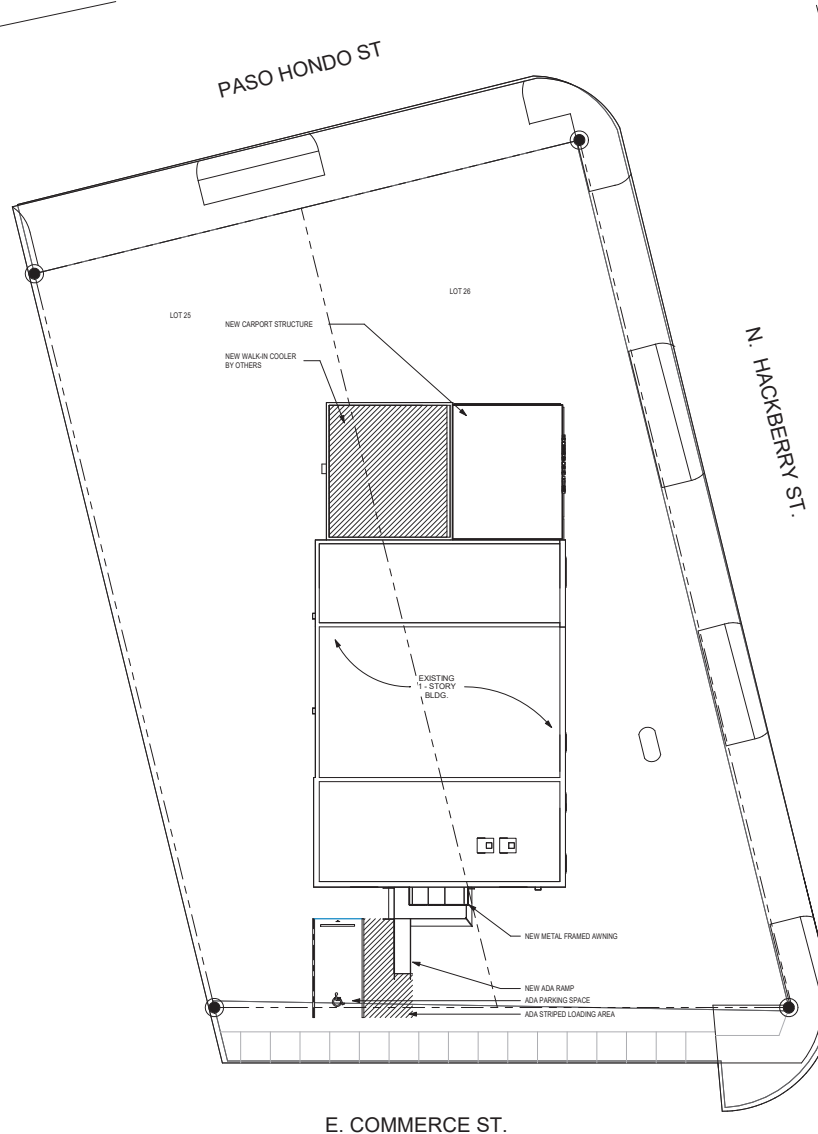
DEMO LEGEND

- EXISTING CONSTRUCTION TO REMAIN.
- - - - - EXISTING CONSTRUCTION TO BE REMOVED.

DEMOLITION KEYED NOTES:

- 1 NEW OPENING TO ALLOW FOR NEW DOOR.
- 2 MODIFY EXISTING OPENING TO ALLOW FOR NEW DOOR.
- 3 REMOVE EXISTING STEEL PIPE RAIL.
- 4 EXISTING DOOR TO BE REMOVED.

1 Site Copy 1
3/32" = 1'-0"



ROYAL BLUE COMMISSARY

1431 E COMMERCE ST SAN
ANTONIO TX 78205



7.20.2022

ISSUE:

PERMIT 7.18.2022

DEMO PLAN/ EXTERIOR
ELEVATIONS

PROJECT NO: 202133

DATE: 7.18.2022

DRAWN BY: JM

A-2.0

WALL LEGEND

- EXISTING WALL TO REMAIN.
FLR OUT EXISTING PERIMETER WALL WITH 5/8" TYPE 'X' G.W.B. ON ONE SIDE OF 3/8" METAL STUD.
TYPICAL INTERIOR PARTITION TO DECK. PROVIDE 5/8" TYPE 'X' G.W.B. ON BOTH SIDE OF 3/8" METAL STUD.

FLOOR PLAN GENERAL NOTES

1. PROVIDE ALL SAFETY ITEMS REQUIRED, SUCH AS EXIT SIGNS, EMERGENCY LIGHTS, FIRE EXTINGUISHERS, SMOKE DETECTORS, TO MEET ALL APPLICABLE CODES AND TO COMPLY WITH TEXAS ACCESSIBILITY STANDARDS. ALL SYSTEMS TO TIE INTO BUILDING SYSTEMS AS REQUIRED.

2. NOTIFY ARCHITECT PRIOR TO FRAMING FOR WALL FRAMING WALK THROUGH REVIEW.

FLOOR PLAN KEYED NOTES

1. PAINTED MILLWORK SHELVEING
2. EXISTING STOREFRONT SYSTEM TO REMAIN. CLEAN AND REPAIR AS REQUIRED FOR A "LINE NEW" APPEARANCE.
3. LINE OF NEW AWNING ABOVE
4. WATER HEATER. RE: MEP
5. REVERSE OSMOSIS WATER SYSTEM. TO BE SELECTED.
6. BUILT IN BENCH WITH STORAGE COMPARTMENT.
7. INFILL EXISTING OPENING WITH NEW FRAMING TO MATCH ADJACENT SURFACES
8. LOCATION OF EXISTING GAS SERVICE.
9. LOCATION OF EXISTING ELECT. SERVICE TO BUILDING.
10. APPROX. LOCATION OF GREASE TRAP. RE: MEP
11. NEW WALK-IN COOLER BY OTHERS
12. 4 X 4 PAINTED STL. COLUMN
13. LINE OF CARPORT ROOF STRUCTURE
14. WHEEL STOP
15. LINE OF BEAM ABOVE
16. HATCHED AREA INFILL CONCRETE FLOOR TO ALIGN WITH ADJACENT FLOOR HTS

EQUIPMENT SCHEDULE

MERCHANDISE

KEY #	EQUIPMENT TYP	MANUFACTURE	MODEL #	NOTES	QTY.
M-1	3 DOOR FREEZER	TRUE	TS-72FG-HC-FGD01		1
M-2	3 DOOR REFRIGERATOR	TRUE	T-72G-HC-FGD01		1
M-3	OPEN MERCHANDISER	TRUE	TOAM-T2-HC-NSL01		2
M-4	UNDERCOUNTER REFRIGERATOR	TRUE	TUC-80G-HC-FGD01		2
M-5	DROP IN HAND WASH SINK	ADVANCE TABCO	DL-1-10		
M-6	POINT OF SALE				
M-7	MICROWAVE	TO BE SELECTED			
M-8	COUNTER PIZZA OVEN	TO BE SELECTED			
M-9	COUNTER PANINI PRESS	TO BE SELECTED			
M-10	DRIP COFFEE MAKER	TO BE SELECTED			
M-12	ESPRESSO MACHINE	TO BE SELECTED			

KITCHEN

KEY #	EQUIPMENT TYP	MANUFACTURE	MODEL #	NOTES	QTY.
K-1	2 COMPARTMENT SINK	ADVANCE TABCO	FC-2-2424-24RL		1
K-2	2 DOOR REFRIGERATOR	TRUE FOOD SERVICE EQUIPMENT, INC.	T-49F-HC		1
K-3	3 DOOR REFRIGERATOR	TRUE FOOD SERVICE EQUIPMENT, INC.	T-72F-HC		1
K-4	CHILLER	ALTO-SHAM	QC3-20		1
K-5	RANGE WITH CONVECTION OVEN	BAKERS PRIDE	36 BP-6B-C26		2
K-6	COUNTER GAS CHARBROILER	WOLF	ACB36		1
K-7	COUNTER GAS GRIDDLE	WOLF	AGM36		1
K-8	DISHWASHER	HOBART	AM15		1
K-9	SALAD DRYER	HOBART	SDPS-11		1
K-10	HANDWASH SINK (WALL)	ADVANCE TABCO	7-PS-76		
K-12	MOP SINK	ADVANCE TABCO			1
K-13	ICE MAKER	MANTOWOC ICE	IDT0425AD-320		1
K-14	6" STAINLESS STEEL PREP	EAGLE GROUP			
K-15	9" STAINLESS STEEL PREP	EAGLE GROUP			6
K-16	4" STAINLESS STEEL PREP	EAGLE GROUP			4
K-17	5' SHELVEING				
K-18	3' SHELVEING				
K-19	2' SHELVEING				
K-21	3 COMPARTMENT SINK	ADVANCE TABCO			1
K-22	WATER HEATER				
K-23	GAS CONVECTION OVEN	BLODGETT	ZEFAHIRE-200-G SINGLE		1
K-24	POT FILLER	T&S	B-0594 24"		
K-25	REFRIGERATOR	TBD			
K-26	BEVERAGE MERCHANDISER	TRUE FOOD SERVICE INC	TS-23F-HC		

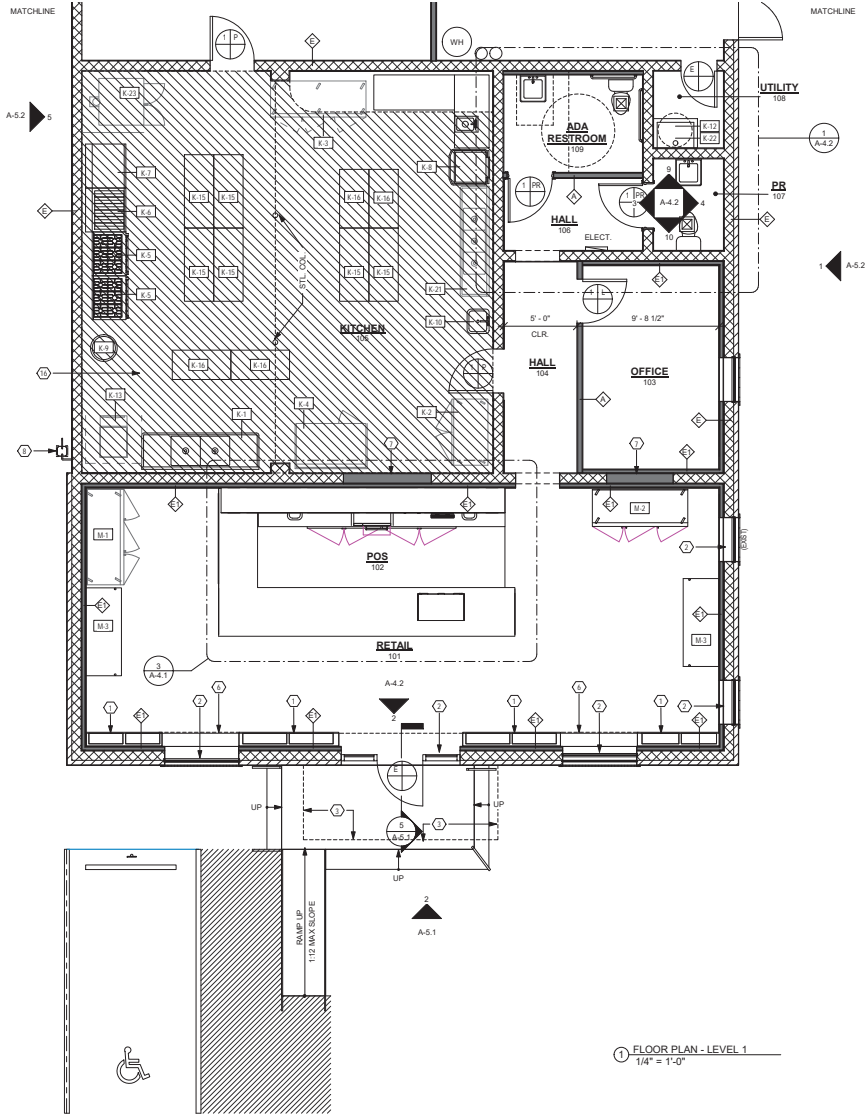
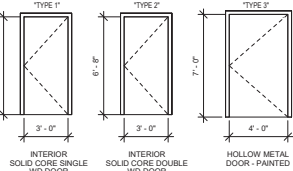
FLOOR PLAN GENERAL NOTES

1. THE DIMENSIONS ON THIS SHEET ARE TO FACE OF STUD AND/OR MASONRY. CENTERLINE OF COLUMN/BEAM AND FACE OF AWNING. UNO.
2. GO TO FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND/OR INSTALLATION OF ANY EQUIPMENT, ACCESSORIES, ETC. IF A DISCREPANCY IS IDENTIFIED, PLEASE NOTIFY DESIGNER IMMEDIATELY.
3. GO TO PROVIDE PORTABLE FIRE EXTINGUISHERS AS REQUIRED BY LOCAL CODE.
4. REFER TO APPROPRIATE SHEET AND/OR SCHEDULE FOR ADDITIONAL INFORMATION/DETAIL REGARDING ITEMS SHOWN HEREIN.
5. KEYNOTES LOCATED ON THIS SHEET ARE FOR THIS SHEET ONLY.
6. DO NOT SCALE THE DRAWINGS. IF A SPECIFIC DIMENSION IS NOT GIVEN, CONTACT DESIGNER FOR CLARIFICATION.
7. REFER TO SHEET 01-01 GENERAL CONDITIONS FOR ADDITIONAL INFORMATION ASSOCIATED WITH, BUT NOT LIMITED TO, SUBMITTALS, SHOP DRAWINGS, SAMPLES, CUTTING AND PATCHING, COORDINATION AND STAGING, PROTECTION OF WORK.
8. INSTALL ALL PRODUCTS PER MANUFACTURER'S RECOMMENDATIONS.

DOOR SCHEDULE / HARDWARE LEGEND

ALL DOORS ARE TO RECEIVE LEVER TYPE HARDWARE. ALL OPERABLE DOOR HARDWARE IS TO BE LEVER TYPE. PROVIDE FLOOR MOUNTED STOPS AT ALL DOORS.

- E EXISTING DOOR TO REMAIN
P PASSAGE
L LOCK
C CLOSER
PR PRIVACY LOCK
DB DEADBOLT WITH THUMB-TURN (NOTE: DOORS ARE TO REMAIN UNLOCKED DURING NORMAL BUSINESS HOURS)



1 FLOOR PLAN - LEVEL 1
1/4" = 1'-0"

JASON MORAN
COLLABORATIVE DESIGNER

ROYAL BLUE COMMISSARY

1431 E COMMERCE ST SAN
ANTONIO TX 78205



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FLOOR PLAN

PROJECT NO: 202133
DATE: 7.18.2022
DRAWN BY: JM

A-2.1

WALL LEGEND

- EXISTING WALL TO REMAIN.
FURR-OUT EXISTING PERIMETER WALL WITH 5/8" TYPE 'X' G.W.B. ON ONE SIDE OF 3-5/8" METAL STUD.
TYPICAL INTERIOR PARTITION TO DECK. PROVIDE 5/8" TYPE 'X' G.W.B. ON BOTH SIDE OF 3-5/8" METAL STUD.

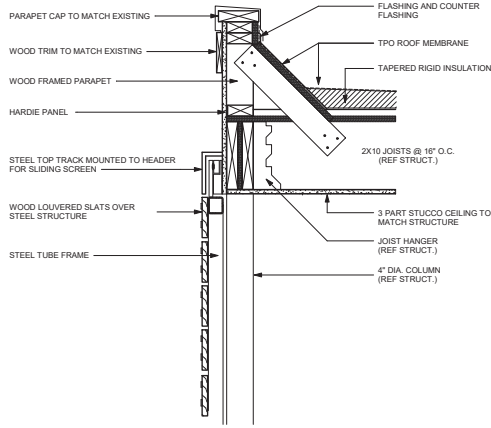
FLOOR PLAN GENERAL NOTES

1. PROVIDE ALL SAFETY ITEMS REQUIRED, SUCH AS EXIT SIGNS, EMERGENCY LIGHTS, FIRE EXTINGUISHERS, SMOKE DETECTORS, TO MEET ALL APPLICABLE CODES AND TO COMPLY WITH TEXAS ACCESSIBILITY STANDARDS. ALL SYSTEMS TO TIE INTO BUILDING SYSTEMS AS REQUIRED.

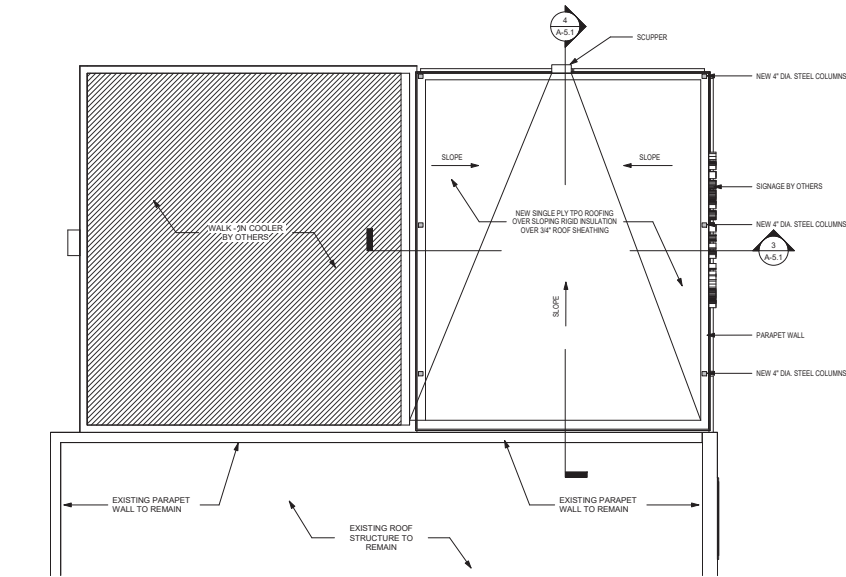
2. NOTIFY ARCHITECT PRIOR TO FRAMING FOR WALL FRAMING WALK THROUGH REVIEW.

FLOOR PLAN KEYED NOTES

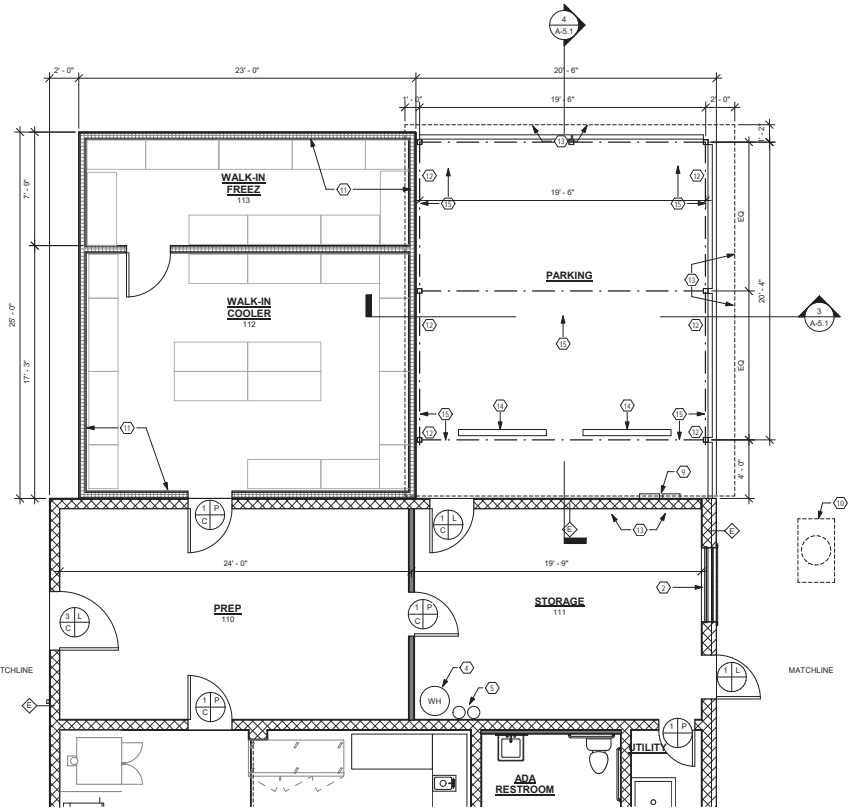
1. PAINTED MILLWORK SHELVE
2. EXISTING STOREFRONT SYSTEM TO REMAIN. CLEAN AND REPAIR AS REQUIRED FOR A "LINE NEW" APPEARANCE.
3. LINE OF NEW AWNING ABOVE
4. WATER HEATER, RE: MEP
5. REVERSE OSMOSIS WATER SYSTEM, TO BE SELECTED.
6. BUILT IN BENCH WITH STORAGE COMPARTMENT.
7. INFILL EXISTING OPENING WITH NEW FRAMING TO MATCH ADJACENT SURFACES
8. LOCATION OF EXISTING GAS SERVICE.
9. LOCATION OF EXISTING ELECT. SERVICE TO BUILDING.
10. APPROX. LOCATION OF GREASE TRAP, RE: MEP
11. NEW WALK-IN COOLER BY OTHERS
12. 4 X 4 PAINTED STL. COLUMN
13. LINE OF CARPORT ROOF STRUCTURE
14. WHEEL STOP
15. LINE OF BEAM ABOVE
16. HATCHED AREA INFILL CONCRETE FLOOR TO ALIGN WITH ADJACENT FLOOR HTS



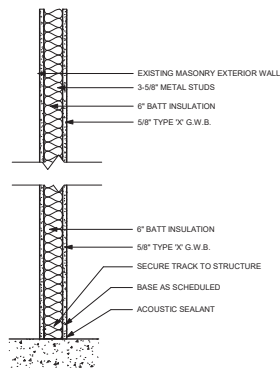
5 TYPICAL CARPORT DETAIL
1 1/2" = 1'-0"



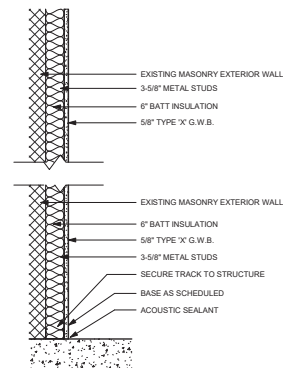
4 ENLARGED ROOF PLAN AT CARPORT
1/4" = 1'-0"



1 FLOOR PLAN - LEVEL 1 Copy 2
1/4" = 1'-0"



3 TYP. INTERIOR PARTITION
1 1/2" = 1'-0"



2 TYP. FUR OUT PERIMETER WALL
1 1/2" = 1'-0"

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A-2.2

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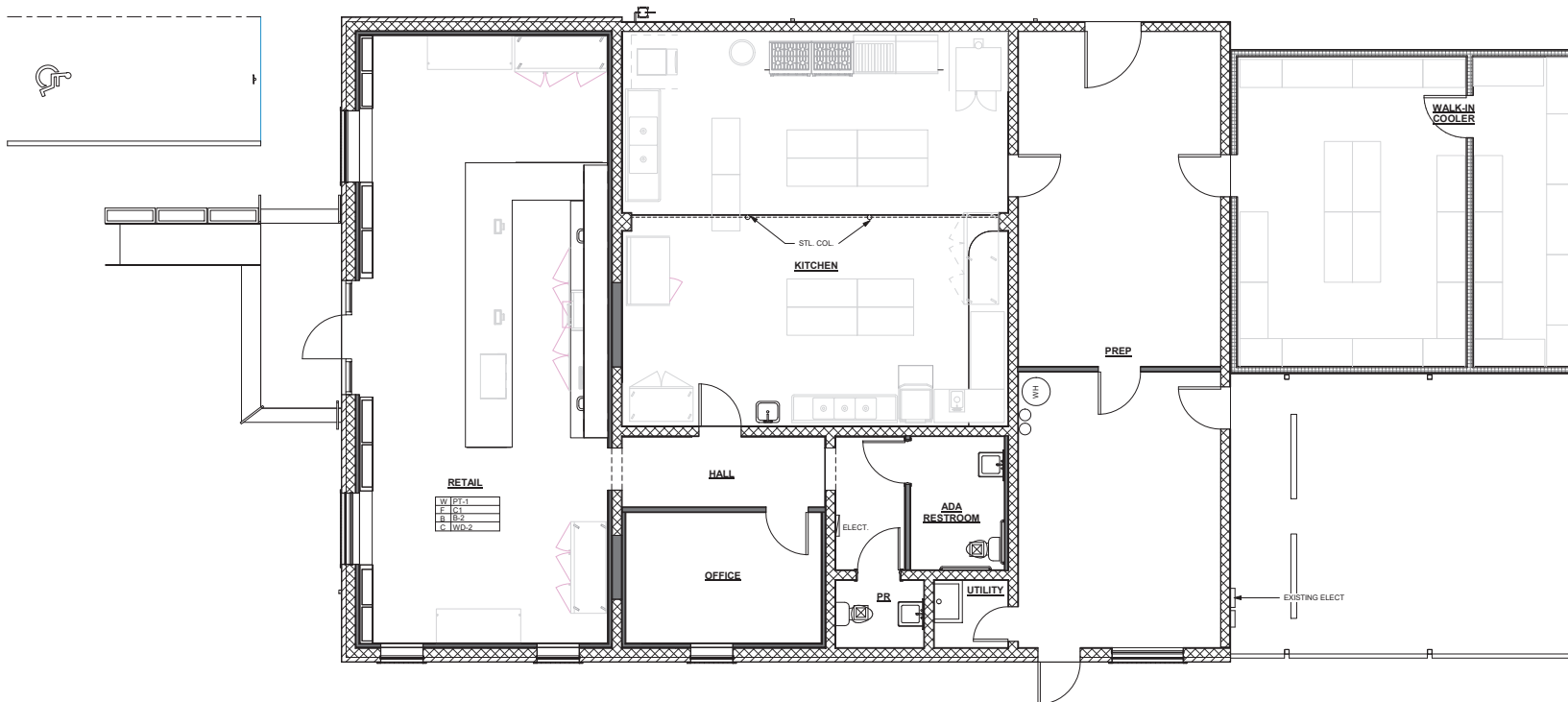
FINISH PLAN

PROJECT NO: 202133

DATE: 7.18.2022

DRAWN BY: JM

A-3.1



1 FINISH FLOOR PLAN & SCHEDULE
1/4" = 1'-0"

FINISH SCHEDULE

MATERIAL	DESIGNATION	MATERIAL	MANUFACTURER	STYLE/COLOR	FINISH	NOTES
BASE	B-1	4" BLACK RUBBER COVE BASE	ARMSTRONG	BLACK		
	B-2	WOOD BASE				
CONCRETE	C1	CONCRETE FLOORS				
FIBER REINFORCED PLASTIC	FRP					
EXISTING WALLS	EXIST					
CROUT	GT-1	CROUT	CUSTOM GROUT SOLUTIONS	#19 PEWTER		
LAY-IN CEILING TILE	VT	2X4 CEILING TILES	TBD	WHITE	SMOOTH	
MARBLE	M-1	CARRERA MARBLE 3CM	TBD	POLISHED		
METAL	MTL-1	PAINTED 1/4" STEEL	CUSTOM	SW68804 DIGNITY BLUE	GLOSS	EXTERIOR PAINT GRADE AS REQ'D
	MTL-2	1/8" BRASS	TBD	BRASS	TBD	TERRAZZO INLAY
	MTL-3	1/4" STEEL PLATE	CUSTOM	BLACKENED STEEL	CLR SEAL	VERIFY W DESIGNER
	MTL-4	1/2" SQUARE STOCK	CUSTOM	OC-45 SWISS COFFEE		
PAINT	PT-1	PAINT COLOR	BENJAMIN MOORE	OC-45 SWISS COFFEE	VERIFY W DESIGNER	COORDINATE W DESIGNER
	PT-2	PAINT COLOR	SHERWIN WILLIAMS	CUSTOM GREEN		
	PT-3	PAINT COLOR	TBD	SW68804 DIGNITY BLUE	VERIFY W DESIGNER	
	PT-4	PAINT COLOR	TBD	CHALKBOARD PAINT	VERIFY W DESIGNER	
	PT-5	PAINT COLOR	BENJAMIN MOORE	HC-166 KENDALL CHARCOAL	VERIFY W DESIGNER	
	PT-6	PAINT COLOR	SHERWIN WILLIAMS	SW7074: SOFTWARE	VERIFY W DESIGNER	
	PT-6	PAINT COLOR	SHERWIN WILLIAMS	SW7076: CYBERSPACE	VERIFY W DESIGNER	
STEEL	ST-1	1/4" THICK STEEL PLATE	TBD			
STAINLESS STEEL	SS	STAINLESS STEEL 16 GA	CUSTOM	TYPE 304		
TILE	T-1	3" X 6" GLAZED CERAMIC TILE	DALTILE	RITTENHOUSE SQUARE/ WHITE		BULLNOSE AT TOP
	T-2	3" X 6" GLAZED CERAMIC TILE (COVE BASE)	DALTILE	RITTENHOUSE SQUARE/ WHITE		
	T-3	TBD				
	T-4	PORCELAIN TILE	MOSA	SCENES/ 6123V	VERIFY W DESIGNER	
	T-5	PORCELAIN TILE	MOSA	SCENES/ 6110V	VERIFY W DESIGNER	

MATERIAL	DESIGNATION	MATERIAL	MANUFACTURER	STYLE/COLOR	FINISH	NOTES
WOOD	WD-1	1X4 PAINTED SELECT PINE PLANKS	CUSTOM	WHITEWASHED/ VERIFY W DESIGNER		
	WD-2	TONGUE AND GROOVE WOOD	CUSTOM	P-1	PAINT AS SCHED.	SEMGLOSS
	WD-3	1XWOOD	CUSTOM			
	WD-4	WOOD SHELVING	CUSTOM			

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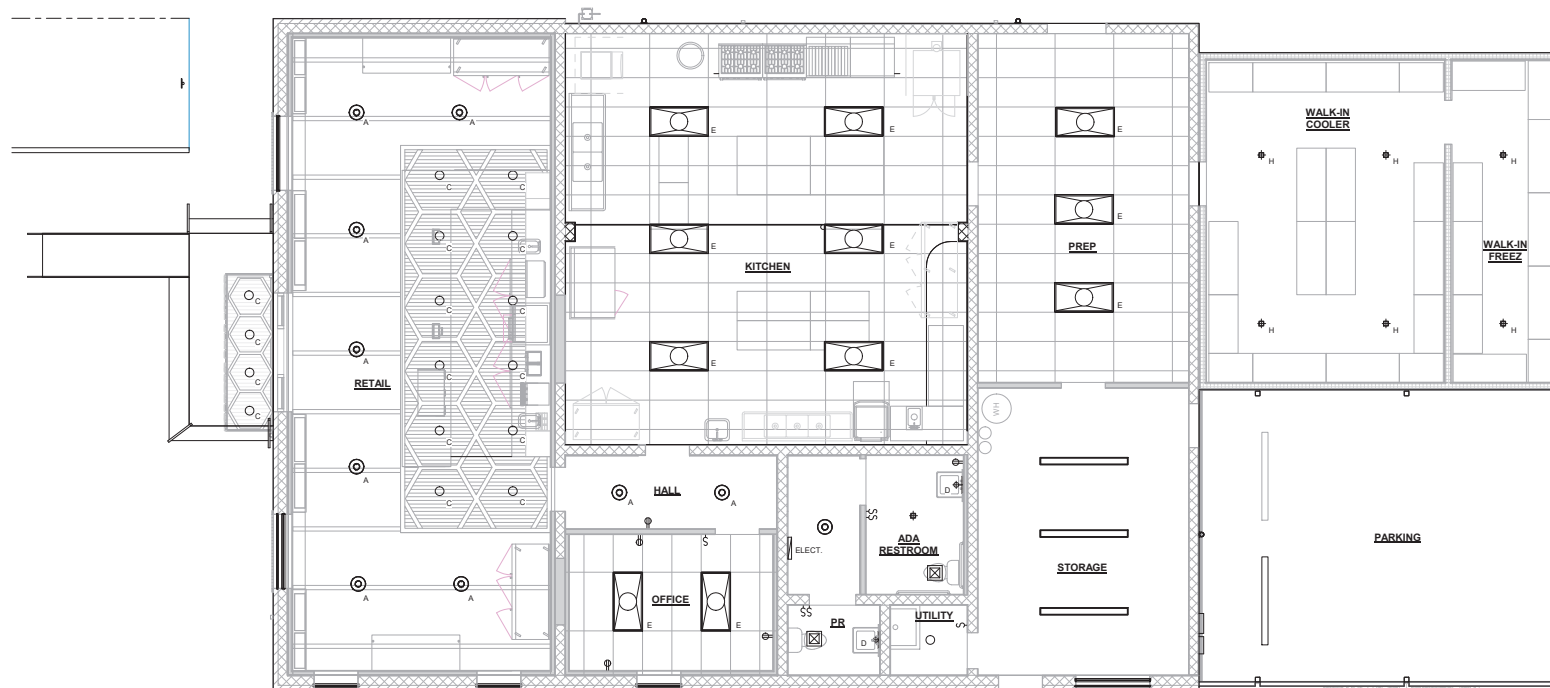
POWER AND LIGHTING PLAN

PROJECT NO: 202133

DATE: 7.18.2022

DRAWN BY: JM

A-3.2



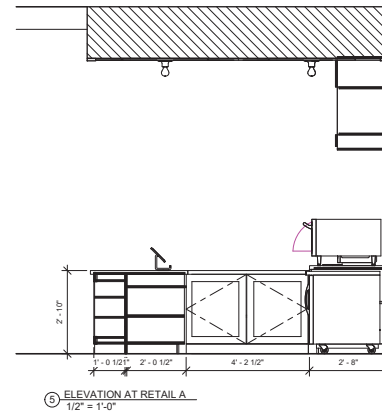
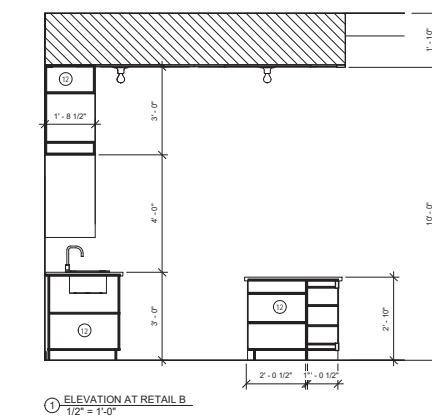
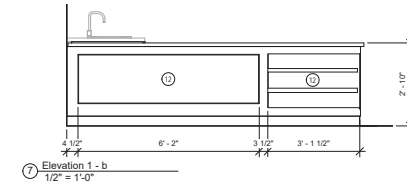
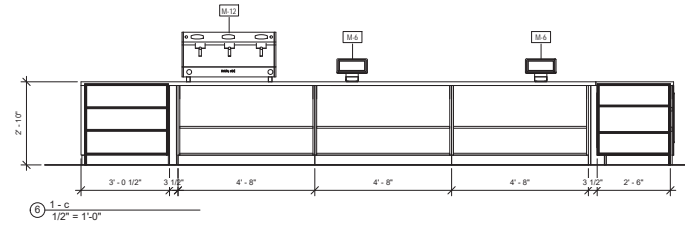
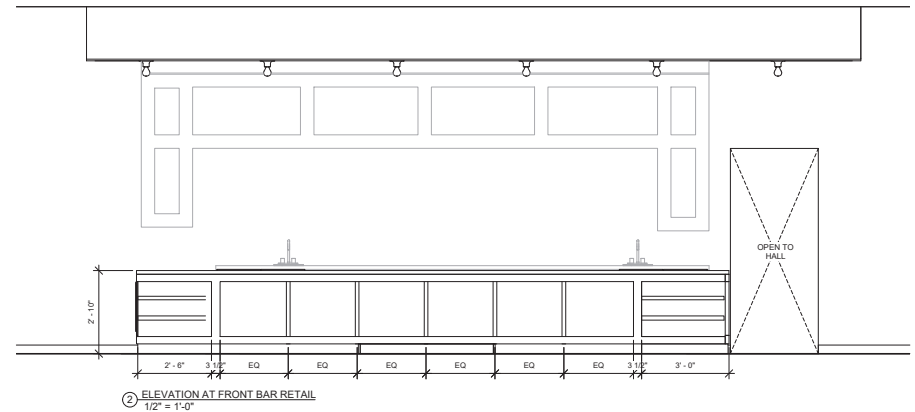
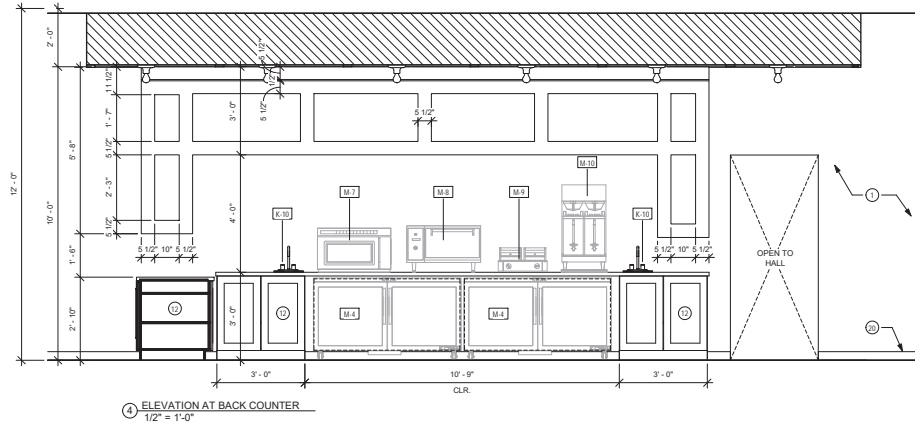
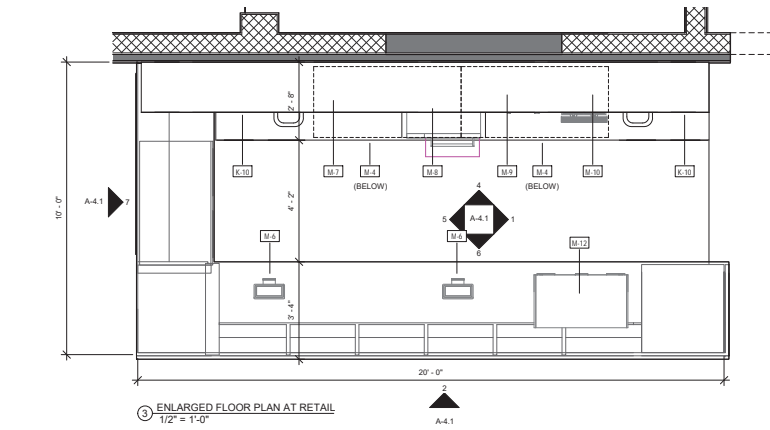
1 POWER AND LIGHTING PLAN
1/4" = 1'-0"

LIGHT FIXTURE LEGEND

LABEL	FIXTURE TYPE	LOCATION	MANUFACTURER	MODEL NO / FINISH	WATTAGE	LAMP TYPE	NOTES
A	PENDANT	RETAIL	SCHOOLHOUSE ELECTRIC	FACTORY LIGHT NO 7 ROD PENDANT	20 W	INCANDESCENT	
B	RECESSED CAN	CORRIDOR / BATH	CONTRAST	R3470-01-ANOD., PAR16	8W	LED	
C	SURFACE MOUNT	AWNINGS	CEDAR & MOSS	TIMBERLINE/ BRASS	20W	INCANDESCENT	
D	SCONCE	BATHROOM	CEDAR & MOSS	MIRAI BRASS	20W	INCANDESCENT	
E	2 X 4	PREP	PHILLIPS	T-GRD TROFER 2 X 4	27.4W	LED	
F	PENDANT	WINE	LAMBERT & FLS	LAURENT 07	(3) 4.5W	LED	
G1	SCONCE	VARIOUS	CIRCA LIGHTING	DAVID 18" ART LIGHT	(2) 40W	INCANDESCENT	
G2	SCONCE	VARIOUS	CIRCA LIGHTING	DAVID 7" ART LIGHT	(2) 40W	INCANDESCENT	
H	SURFACE MOUNT	WALK-IN	ASPECTS FARM & HOME	1" SILVER VAPORLITE			
J	EXIT SIGN	VARIOUS	COOPER LIGHTING	EUS70R			
K	EMERGENCY	BOH	COOPER LIGHTING	APEL			
M	LINEAR FLOURESCENT	STOR	LITHONIA LIGHTING	MNSL L46	25W		

POWER PLAN / REF. CLG. PLAN GENERAL NOTES

- MECHANICAL, ELECTRICAL, PLUMBING, AND ALL BUILDING SYSTEMS SHALL BE ENGINEERED BY A GENERAL CONTRACTOR'S SUBCONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES. CONTRACTOR TO COORDINATE LOCATIONS OF ALL DEVICES AND THERMOSTATS WITH ARCHITECT PRIOR TO ROUGH-IN AND INSTALLATION.
- MODIFY ALL BUILDING SYSTEMS AS REQUIRED FOR NEW WALL CONFIGURATIONS. PROVIDE ALL REQUIRED EXIT SIGNS, EMERGENCY LIGHTS, FIRE EXTINGUISHERS, AND ALL OTHER ITEMS REQUIRED TO MEET ALL APPLICABLE CODES. ALL SYSTEMS ARE TO BE TIED INTO BUILDING SYSTEMS AS REQUIRED.
- MODIFY EXISTING HVAC SYSTEM AS REQUIRED DUE TO NEW WALL CONFIGURATIONS AND LIGHTING CONFIGURATIONS.
- PROVIDE TEST AND BALANCE OF THE HVAC SYSTEM AFTER CONSTRUCTION IS COMPLETE.
- IT IS THE RESPONSIBILITY OF THE G.C. TO IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND FIELD OBSERVATIONS TO THE ARCHITECT.
- EXISTING ELECTRICAL DEVICES ARE NOT INDICATED. CONTRACTOR SHALL REMOVE ALL EXISTING DEVICES AND ASSOCIATED CONDUIT BACK TO SOURCES OR BRANCH POINT. PROVIDE NEW ELECTRICAL DEVICES AS INDICATED ON POWER PLAN.
- ALL RCP DIMENSIONS ARE FROM FINISH TO FINISH OR TO CENTER LINE OF FIXTURE, UNLESS NOTED OTHERWISE.
- ALL SWITCHPLATES TO BE MOUNTED AT 48" A.F.F. U.N.O.
- FINISH TO BE BRUSHED STAINLESS STEEL W/ WHITE OUTLET U.N.O.
- ALL RECESSED LIGHTING FIXTURE TRIM RINGS TO BE PAINTED MATCH ADJACENT CONDITIONS.
- SWITCHES TO BE GANGED. VERIFY LOCATIONS IN FIELD WITH JASON MORAN. ALL SWITCHES TO BE ON DIMMER, U.N.O.
- ALL LIGHT FIXTURES, OUTLETS, SMOKE DETECTORS AND OTHER EQUIPMENT IS TO BE LAID OUT FOR JASON MORAN AND OWNER APPROVAL PRIOR TO FINAL INSTALLATION.
- GC TO COORDINATE SECURITY/AUDIOVISUAL AND OTHER LOW VOLTAGE SYSTEMS W/ OWNER/JASON MORAN IN FIELD. GC TO PROVIDE NECESSARY ELECTRICAL CONNECTIONS PER OWNER'S CONSULTANT. NOTE: SPEAKERS IN SOME LOCATIONS TO BE INTEGRATED WITH CABINETS AND/OR ARCHITECTURE.
- COORDINATE SOFFIT FRAMING WITH RECESSED LIGHT LOCATIONS, DIFFUSERS, & GRILLES. DO NOT RELOCATE TO ACCOMMODATE FRAMING WITHOUT PERMISSION FROM JASON MORAN.
- ALL ELECTRICAL AND PLUMBING REQUIREMENTS TO BE SUPPLIED TO EQUIPMENT PER EQUIPMENT SPECIFICATIONS. READ LITERATURE PRIOR TO ROUGH IN.
- LABEL ALL SWITCHES ON THE DIMMER PANEL.
- REQUIRED OUTLETS IN WET AREAS TO BE SWITCHED TO GFI AS REQUIRED BY LOCAL CODE.
- ALL RECESSED CANS TO BE CENTERED W/IN ROOMS, ON DOOR OPENINGS, FIXTURES, CEILING TILES ETC., U.N.O.
- PENDANT HEIGHTS TO BE COORDINATED W/ DESIGNER DURING INSTALLATION.
- ALL ELECTRICAL WALL OUTLETS TO BE MOUNTED AT 18" A.F.F. U.N.O. OUTLETS AND COVERPLATES TO MATCH SWITCHPLATES, TYP.
- REFER TO APPROPRIATE SHEET AND/OR SCHEDULE FOR ADDITIONAL INFORMATION/DETAIL REGARDING ITEMS SHOWN HEREIN.
- KEYNOTES LOCATED ON THIS SHEET ARE FOR THIS SHEET ONLY.
- DO NOT SCALE THE DRAWINGS. IF A SPECIFIC DIMENSION IS NOT GIVEN, CONTACT JASON MORAN FOR CLARIFICATION.
- REFER TO SHEET A0-01-GENERAL CONDITIONS FOR ADDITIONAL INFORMATION ASSOCIATED WITH, BUT NOT LIMITED TO: SUBMITTALS, SHOP DRAWINGS, SAMPLES, CUTTING AND PATCHING, COORDINATION AND STAGING, PROTECTION OF WORK.
- INSTALL ALL PRODUCTS PER MANUFACTURER'S RECOMMENDATIONS.



ELEVATION KEYNOTES

1. PAINTED G.W. SEE FINISH SCHEDULE
2. TILE, SEE FINISH SCHEDULE
3. LIGHT FIXTURE, SEE RCP
4. PLUMBING FIXTURE, SEE MEP DRAWINGS FOR MORE INFORMATION
5. ADA CLEARANCE AS REQUIRED
6. MIRROR WITH 1/2" TRIM PAINTED, TRIM TILE AROUND THE MIRROR
7. GRAB BAR AS REQUIRED
8. TISSUE DISPENSER
9. SOAP DISPENSER
10. PAPER TOWEL DISPENSER
11. DOOR AND FRAME, SEE DOOR SCHEDULE
12. MILLWORK
13. CUSTOM SHELVE
14. EXISTING STOREFRONT TO REMAIN
15. DOOR AS SCHEDULED
16. INTERIOR DECORATIVE FUR DOWN
17. EQUIPMENT AS SCHEDULED
18. TEMPERED FLOATING GLASS MIRROR
19. BUILT IN MILLWORK BENCH WITH STORAGE COMPARTMENT.
20. 1 x 4 PAINTED WOOD BASE
21. FROSTED TEMPERED GLASS INSETS.



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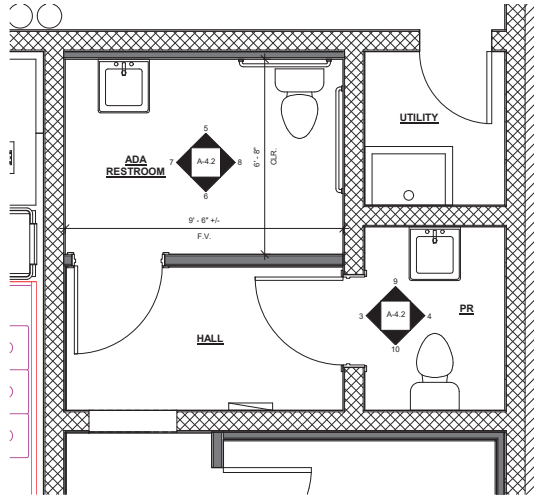
INTERIOR ELEVATIONS

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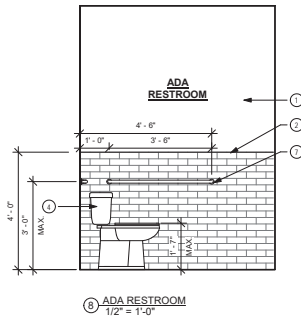
A-4.1



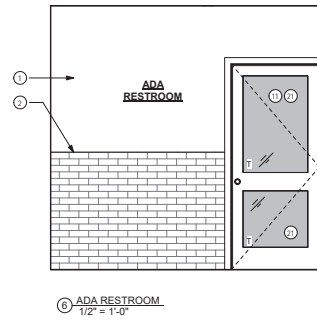
1 FLOOR PLAN - LEVEL 1 - Callout 1
1/2" = 1'-0"

ELEVATION KEYNOTES

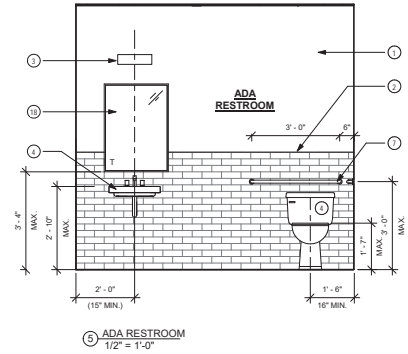
1. PAINTED G.W.B. SEE FINISH SCHEDULE
2. TILE. SEE FINISH SCHEDULE
3. LIGHT FIXTURE. SEE RCP
4. PLUMBING FIXTURE. SEE MEP DRAWINGS FOR MORE INFORMATION
5. ADA CLEARANCE AS REQUIRED
6. MIRROR WITH 1 X 2 TRIM PAINTED. TRIM TILE AROUND THE MIRROR
7. GRAB BAR AS REQUIRED
8. SOAP DISPENSER
9. PAPER TOWEL DISPENSER
10. DOOR AND FRAME. SEE DOOR SCHEDULE
11. MILLWORK
12. CUSTOM SHELVE
13. EXISTING STOREFRONT TO REMAIN
14. DOOR AS SCHEDULED
15. INTERIOR DECORATIVE FUR DOWN
16. EQUIPMENT AS SCHEDULED
17. TEMPLERED FLOATING GLASS MIRROR
18. BUILT IN MILLWORK BENCH WITH STORAGE COMPARTMENT
19. 1 X 4 PAINTED WOOD BASE
20. FROSTED TEMPERED GLASS INSETS



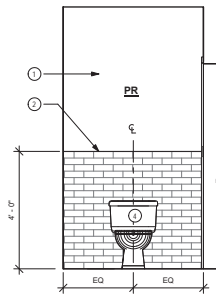
8 ADA RESTROOM
1/2" = 1'-0"



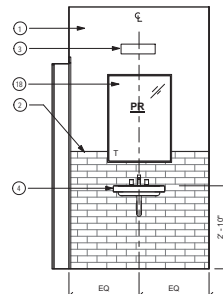
6 ADA RESTROOM
1/2" = 1'-0"



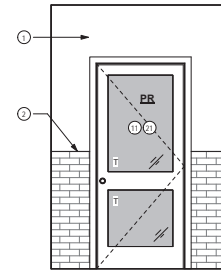
5 ADA RESTROOM
1/2" = 1'-0"



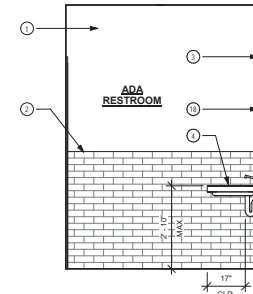
10 RESTROOM
1/2" = 1'-0"



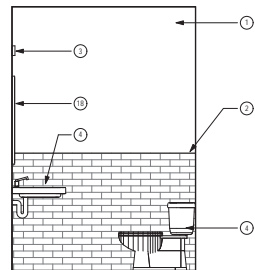
9 RESTROOM
1/2" = 1'-0"



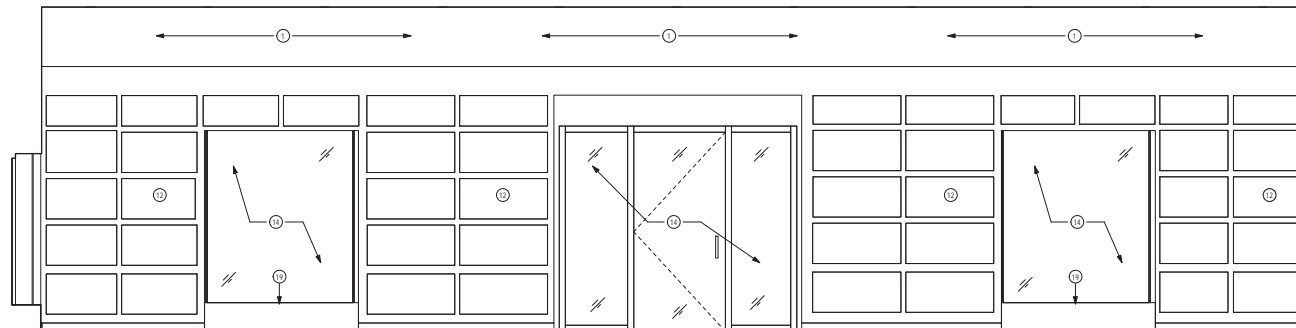
3 Elevation 1 - f
1/2" = 1'-0"



7 ADA RESTROOM
1/2" = 1'-0"



4 Elevation 1 - h
1/2" = 1'-0"



2 RETAIL DISPLAY
1/2" = 1'-0"

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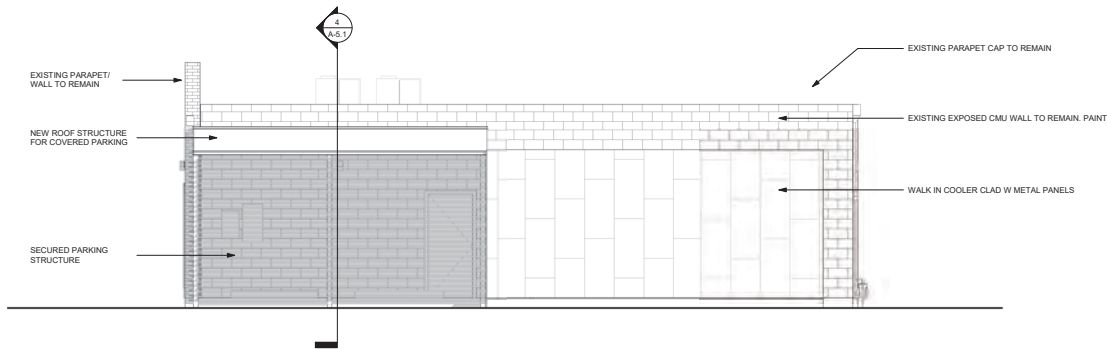
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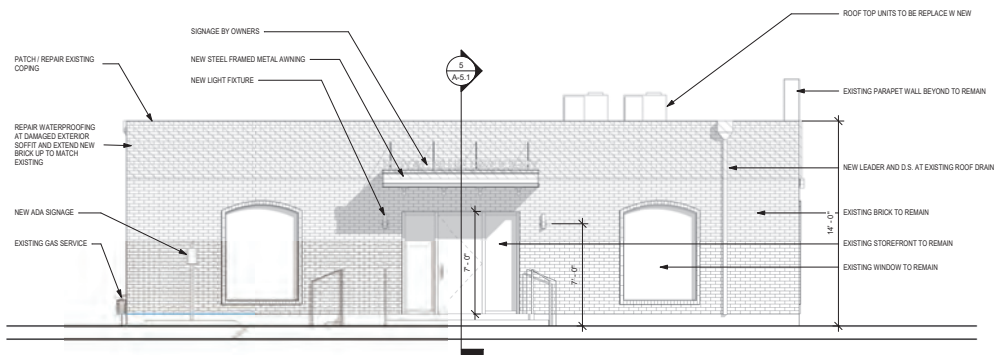
INTERIOR ELEVATIONS

PROJECT NO: 202133
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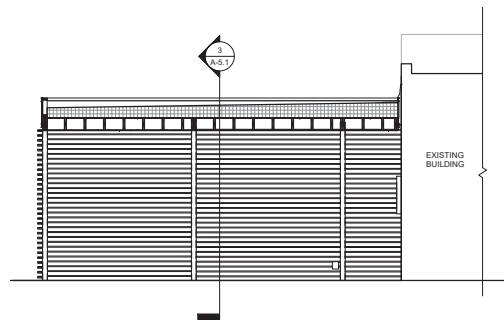
A-4.2



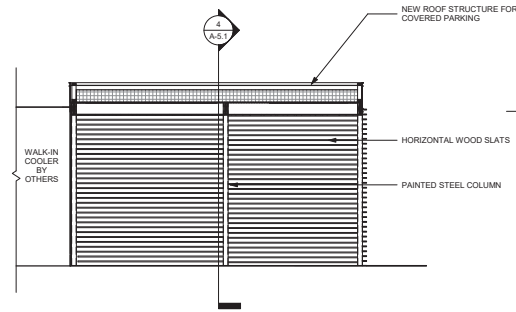
1 NORTH ELEVATION
1/4" = 1'-0"



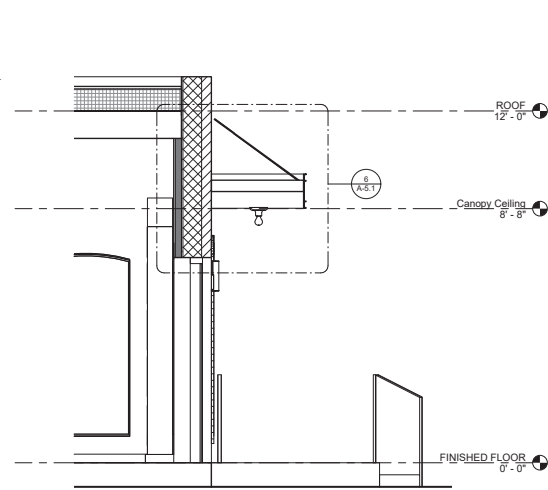
2 SOUTH ELEVATION
1/4" = 1'-0"



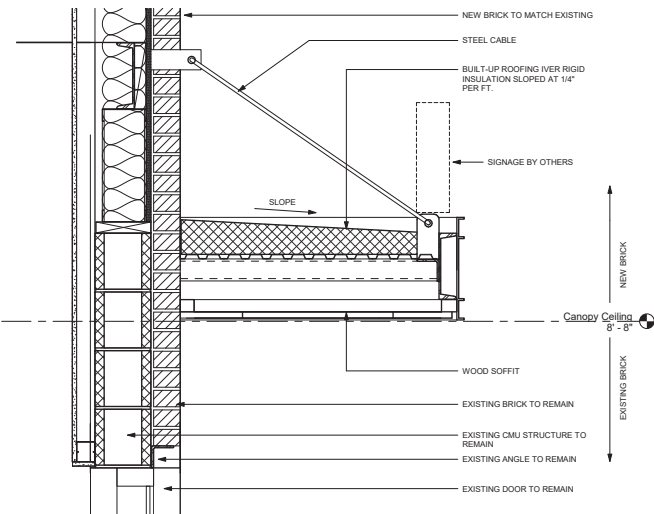
4 Section 2
1/4" = 1'-0"



3 Section 1
1/4" = 1'-0"



5 Section 3
1/2" = 1'-0"



6 Section 3 - Callout 1
1 1/2" = 1'-0"

JASON MORAN
COLLABORATIVE DESIGNER

ROYAL BLUE COMMISSARY

1431 E COMMERCE ST SAN
ANTONIO TX 78205



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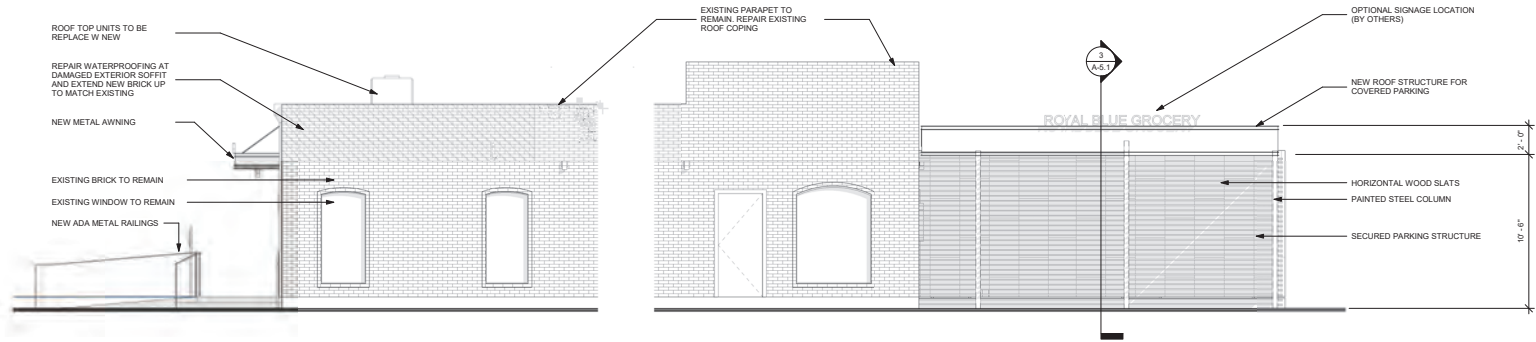
EXTERIOR ELEVATIONS

PROJECT NO: 202133

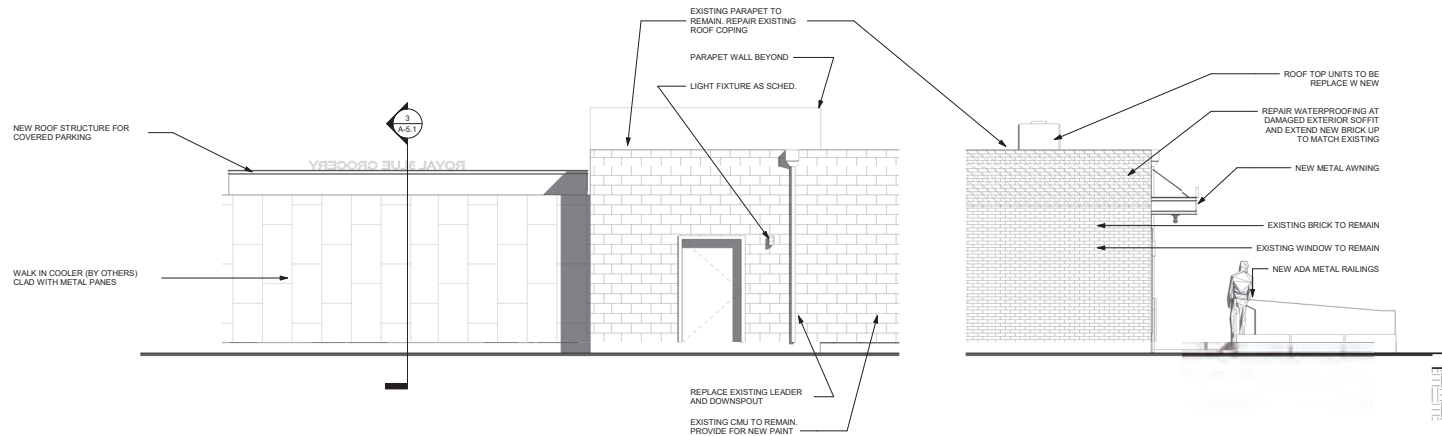
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A-5.1



① EAST ELEVATION
1/4" = 1'-0"



⑤ WEST ELEVATION
1/4" = 1'-0"

ROYAL BLUE COMMISSARY

1431 E COMMERCE ST SAN
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